



- THREE BEDROOMS
- Private Rear Garden
- Gas Central Heating
- Uxbridge Road Location
- Possible Development Opportunity

- Off Street Parking
- Double Glazing
- Modern Fitted Kitchen With White Goods
- No Chain
- EPC Rating D

A superb opportunity to purchase this THREE bedroom family home, offered to the market with no onward chain and located very close to the Uxbridge Road and Hillingdon Primary School.

This property comprises a sizeable front driveway, a warm and welcoming front hallway, two internal reception rooms, private rear garden and modern space, upstairs you will find three well proportioned bedrooms and the family bathroom with both a bath and electric shower overhead, the condition has been kept clean and tidy and is in ready to move.

The property has been rented out for a few years and complies with the modern gas and electrical tests.

Star Road is situated in a quiet neighbourhood which is within close reach of lots of local amenities, bus routes, local schools and the newly opened Elizabeth Line. Uxbridge Town Centre is also a short drive away which offers a variety of shopping centres, houses the Metropolitan/Piccadilly Lines and various restaurants/coffee shops. You are also within a short drive from Heathrow Airport, A312/A40 dual carriageways, M4 and M25 motorway links.

Internet Speed: Download - (up to) Ultrafast 1000 Mbps 924 Mbps

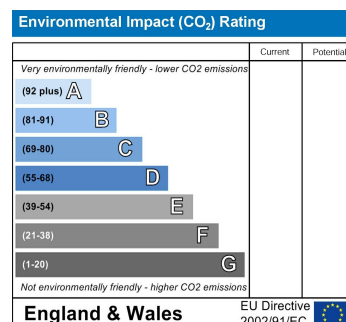
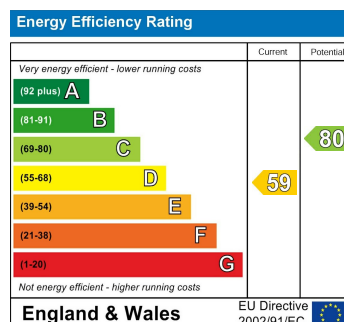
Mobile Coverage (Indoor):

Voice
EE - Likely
Three - Likely
O2 - Likely
Vodafone - Limited

Data
EE - Limited
Three - Likely
O2 - Limited
Vodafone - Limited

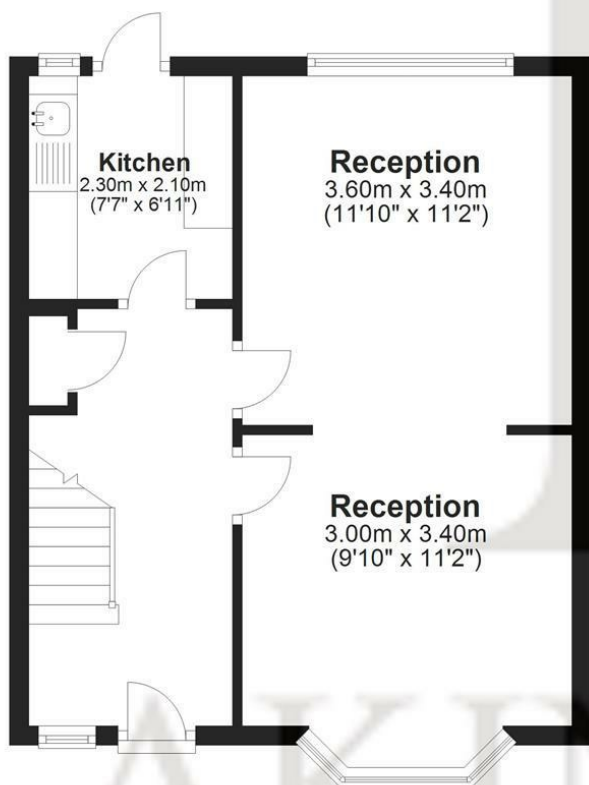
*Please note all dimensions and descriptions are to be used as a guide only by any prospective buyer and do not constitute representations of fact or form part of any offer or contract. Internet Speed and Mobile Coverage figures are

based on estimates provided by Ofcom at <https://checker.ofcom.org.uk>



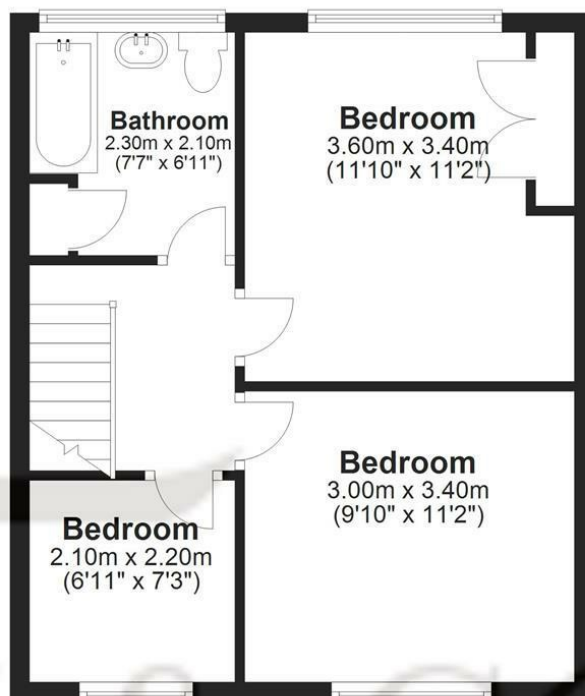
Ground Floor

Approx. 36.1 sq. metres (389.0 sq. feet)



First Floor

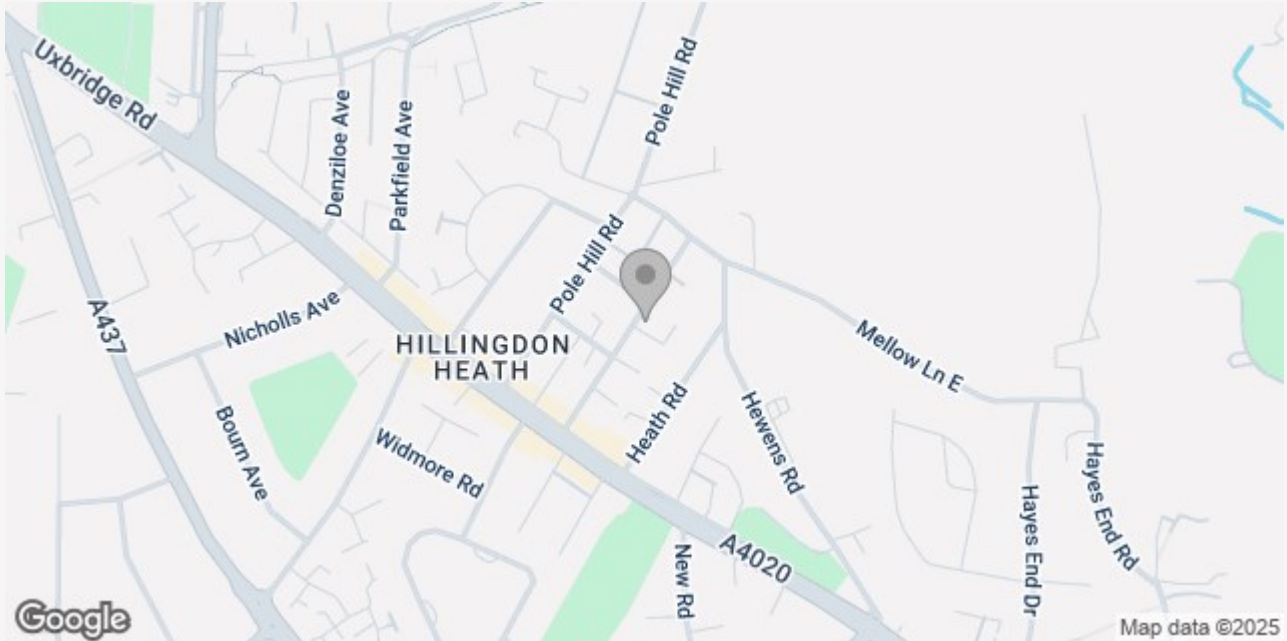
Approx. 37.8 sq. metres (407.0 sq. feet)



Total area: approx. 74.0 sq. metres (796.1 sq. feet)

This floorplan is not to scale. It is to be used for guidance and illustrative purposes only. Accuracy is not guaranteed.
Plan produced using PlanUp.

These particulars do not form part of any offer or contract and must not be relied upon as statements or representations of fact. Any areas, measurements or distances are approximate. The text, photographs and plans are for guidance only and are not necessarily comprehensive. It should not be assumed that the property has all the necessary planning, building regulation or other consents and we have not tested services, equipment or facilities. Purchasers must satisfy themselves by inspection or otherwise.



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